

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY1 October 2025Report by Director of Business Operations and PartnershipsREVIEW OF CASE - REVIEW/2025/09ERECTION OF A REAR SINGLE STOREY SUN LOUNGE EXTENSION**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Further application (Ref No:- 2025/0166/TP).
- Applicant: Mrs A Asif
- Proposal: Erection of a Rear Single Storey Sun Lounge Extension
- Location: 14 Wigton Avenue, Newton Mearns, G77 6JG
- Council Area/Ward: Newton Mearns North and Neilston (Ward 2).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
 - (b) that in the event that further procedure is required to allow it to determine the review, consider:-

- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
- (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons including appeal statement is attached in the appendices to the report.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Tuesday, 30 September 2025 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus

of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 165-172);
- (b) Objections and Representations – Appendix 2 (Pages 173-180);
- (c) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 3 (Pages 181-192);
- (d) Decision notice and reasons for refusal - Appendix 4 (Pages 193-196); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons, as well as suggested additional conditions - Appendix 5 (Pages 197-206).

15. The applicant has also submitted the drawings listed below and these are attached as Appendix 6 (Pages 207-218).

- (a) Existing Ground Floor Layout;
- (b) Proposed Foundation Layout;
- (c) Proposed Ground Floor Construction;
- (d) Proposed External Wall Construction;
- (e) Proposed Roof Rafter Layout;
- (f) Proposed Electrical Layout;
- (g) Proposed Drainage Layout;
- (h) Existing Rear Elevation;
- (i) Proposed Location Plan of Site; and
- (j) Existing Block Plan of Site

16 All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

16. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-

- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
- (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: John Burke

Director – Louise Pringle, Director of Business Operations and Partnerships

John Burke, Democratic Services Officer
e-mail: john.burke@eastrenfrewshire.gov.uk
Tel: 0141 577 3026

Date:- 23 September 2025

APPLICATION FOR PLANNING PERMISSION

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100706432-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Proposed erection of a rear single storey sun lounge extension

Has the work already been started and/ or completed? *

No Yes - Started Yes – Completed

Please state date of completion, or if not completed, the start date (dd/mm/yyyy): *

01/03/2025

Please explain why work has taken place in advance of making this application: *
(Max 500 characters)

My client was of the opinion that this size of extension did not require Planning consent.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Building Name:

Last Name: *

Building Number:

Telephone Number: *

Address 1
(Street): *

Extension Number:

Address 2:

Mobile Number:

Town/City: *

Fax Number:

Country: *

Postcode: *

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:

You must enter a Building Name or Number, or both: *

Other Title:

Building Name:

First Name: *

Building Number:

Last Name: *

Address 1
(Street): *

Company/Organisation

Address 2:

Telephone Number: *

Town/City: *

Extension Number:

Country: *

Mobile Number:

Postcode: *

Fax Number:

Email Address: *

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

14 WIGTON AVENUE

Address 2:

NEWTON MEARNES

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G77 6JG

Please identify/describe the location of the site or sites

Northing

656971

Easting

253265

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? *

Yes No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Stephen McQuiston

On behalf of: Mrs A Asif

Date: 27/03/2025

Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? * Yes No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * Yes No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? * Yes No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. Yes No
- e) Have you provided a certificate of ownership? * Yes No
- f) Have you provided the fee payable under the Fees Regulations? * Yes No
- g) Have you provided any other plans as necessary? * Yes No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

- Existing and Proposed elevations.
- Existing and proposed floor plans.
- Cross sections.
- Site layout plan/Block plans (including access).
- Roof plan.
- Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. Yes No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * Yes No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr Stephen McQuiston

Declaration Date: 27/03/2025

Payment Details

Pay Direct

Created: 27/03/2025 10:38

OBJECTIONS/REPRESENTATIONS

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From: EN Planning <Planning@eastrenfrewshire.gov.uk>

Sent: 10 Apr 2025 03:54:30

175

To: planningdms@eastrenfrewshire.gov.uk

Cc:

Subject: Fw: Comment on application 2025/0166/TP

Attachments:

OFFICIAL

OFFICIAL

From: Andrew Borland <ajborland16@gmail.com>

Sent: 10 April 2025 14:47

To: EN Planning <Planning@eastrenfrewshire.gov.uk>

Subject: Comment on application 2025/0166/TP

Comment planning application – 2025/0166/TP

Having looked at this planning application I find it hard to believe the client was unaware of the requirement to submit a planning application when they already have a live application – 2022/0559/TP which included a second story side extension and a rear conservatory on a much smaller footprint than the now proposed garden room.

There have been several planning applications made by the client since 1999.

I presume that if no planning application had been submitted there was also no building warrant both of which are a very serious oversight.

My main concerns are as follows –

- The over development of an already substantially altered 3-bedroom detached property that prior to any development was approximately 83 m², with the new proposal and currently live applications this will increase the size of the original house to approximately 209 m² which does not reflect the scale and character of the surrounding properties. The second storey side extension, in the still live previous application, is omitted from this new application and I am concerned this will be missed when a decision is made.
- The reduction in amenity space relative to the size of this over developed site.
- The reduction in car parking space which is already at a premium within Wigton Avenue.
- The added over shadowing of my property which is already impacted by the current live application for 2 story side extension.
- The quality of workmanship is poor on the current completed extensions which has an impact on the other properties in Wigton Avenue.

I would also like to note that what is applied for, in this application 2025/0166/TP, is not what has started to be built on site without the required planning permission being applied for. In my opinion the roof structure is currently held up by 4x4 fence posts and post to concrete base plates both of which would not appear to be of a structural grade C16 timber or size of 145x45 as shown in the application.

The foundations and blockwork were constructed during some of the coldest weeks at the start of the year when the temperatures were well below zero when you should not build foundations or blockwork and will likely have a detrimental effect on its overall strength and suitability to support such a structure.

I would request that, as this build was started prior to planning permission being applied for and if permission is now granted, the council attend this building on a regular basis to give reassurance that what is built will match the plans and that the level of build quality is acceptable.

Kind regards

Andrew Borland

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From: EN Planning <Planning@eastrenfrewshire.gov.uk>

Sent: 11 Apr 2025 11:10:54

177

To: planningdms@eastrenfrewshire.gov.uk

Cc:

Subject: Fw: Comment on application 2025/0166/TP

Attachments:

NOT OFFICIAL

Kind Regards,

Development Management

It is taking longer than usual to process planning applications. The Development Management Service is presently unable to provide updates on live applications, however we are working hard to process applications as quickly as possible.

NOT OFFICIAL

From: Susan Borland <theborlands16@tiscali.co.uk>

Sent: 10 April 2025 21:23

To: EN Planning <Planning@eastrenfrewshire.gov.uk>

Subject: Comment on application 2025/0166/TP

Please note my comments for planning application –
2025/0166/TP

There is already a live planning application – 2022/0559/TP which includes a second story side extension and a rear conservatory on a much smaller footprint than the garden room that has already started being built prior to this most recent planning application being submitted.

My main concerns are as follows –

- The over development of an already substantially altered 3-bedroom detached property. The second storey side extension, in the still live previous application, is omitted from this new application and I am concerned this will be missed when a decision is made.
- The reduction in amenity space relative to the size of this over developed site.
- The added impact to my property/garden which has already been visually impacted by previous extensive building work at this site.

Kind regards

Susan Borland

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I would like the following points noted on the statement for appeal against the planning refusal for planning application 2025/0166/TP

The agent states that the clients' circumstances have now changed and the original application 2019/0739/TP Erection of upper floor side extension and application amended 2022/0559/TP, that the upper floor extension is no longer needed. However this is still a live application and until expired or withdrawn could be built at any time.

The agent also states as follows - ***the neighbours have been allowed to extend their homes in a seemingly contradiction to the reasons given for the refusal of theirs.*** The dictionary definition of seemingly is as follows - ***so as to give the impression of having a certain quality; apparently.*** As this statement is not based on fact in my opinion it should not be given consideration at this time.

The agent makes comments about dictionary definitions of the wording "Generally" stating that this is not a black and white ruling - but gives allowance for relaxations and exemptions. This was previously done with the application 2022/0559/TP when the conservatory was added. It brought the size of the build over the size of the footprint of the original house but East Renfrewshire planning relaxed/made an exception as the structure was a conservatory. The current and already started, without planning consent, build was changed to a solid construction and is significantly larger than the original conservatory.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2025/0166/TP

Date Registered: 28th March 2025

Application Type: Full Planning Permission

This application is a Local Development

Ward: 2 -Newton Mearns North And Neilston

Co-ordinates: 253265/:656971

Applicant/Agent:

Applicant:

Mrs A Asif

14 Wigton Avenue

Newton Mearns

Glasgow

Scotland

G77 6JG

Agent:

Stephen McQuiston

44 Lainshaw Avenue

Kilmarnock

Scotland

KA1 4RZ

Proposal: Erection of single storey rear extension

Location: 14 Wigton Avenue

Newton Mearns

East Renfrewshire

G77 6JG

CONSULTATIONS/COMMENTS: None.**PUBLICITY:** None.**SITE NOTICES:** None.**SITE HISTORY:**

1999/0237/TP	Erection of two storey side extension and single storey side/rear extension	Approved Subject to Conditions	28.07.1999
2007/0005/TP	Erection of single storey side extension	Approved Subject to Conditions	05.03.2007
2014/0059/TP	Erection of two storey and single storey rear extensions with erection of upper floor extension at side	Refused	30.04.2014
2019/0739/TP	Erection of upper floor side extension	Approved Subject to Conditions	27.02.2020
2022/0559/TP	Erection of upper floor side extension and erection of conservatory to rear of dwelling.	Approved Subject to Conditions	23.03.2023

REPRESENTATIONS: Two objections have been received and can be summarised as follows:

- Overdevelopment of the house and garden ground.
- Reduction in car parking.
- Overshadowing.
- Quality of workmanship on the completed extensions.
- What is applied for is not what has started to be built on site without the required planning permission being applied for.
- The foundations and blockwork were constructed during cold weather and will likely have a detrimental effect on its overall strength and suitability to support such a structure.
- Added impact on neighbouring property/garden which has already been visually impacted by previous extensive building work at this site.
- The second storey side extension, in the live previous application 2022/0559/TP, is omitted from this new application and concerned this will be missed when a decision is made.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS: None.

ASSESSMENT:

The proposal is required to be assessed against the Development Plan which consists of the National Planning Framework 4 (NPF4) and the adopted East Renfrewshire Council Local Development Plan 2 (LDP2). Due to the scale and nature of the proposal, Policies 14 and 16 of NPF4, and Policies D1, D1.1 and D2 of LDP2 are the most relevant. These policies include, inter alia, that the proposal should not result in a significant loss of character or amenity to the surrounding area, should complement the scale and character of the existing building and neighbouring properties and their setting in terms of style, form and materials.

The application site is a two storey detached house located in an existing residential area in which there are a variety of detached and semi-detached houses. The property fronts a footpath which leads through to Corrou Road and Wigton Avenue. Vehicular access is at the rear of the property. The house has previously been extended with a two-storey extension on the south-west facing elevation and a single storey extension on the north-east facing elevation. There is a shed located in the rear garden area.

Permission is sought for a single storey rear extension which is to run along the majority of the existing rear elevation of the house. The submitted plans indicate the extension is to be a sun lounge. The extension is to extend out from the rear elevation of the house by approximately 3.8m and is to be approximately 10.8m long. The extension is to have a monopitch roof approximately 3.1m at its highest point. The extension is to be approximately 1m from its closest point to the tapering boundary with 12 Wigton Avenue. The proposed external materials have not been specified.

The surrounding area is characterised by a mixture of detached and semi-detached properties, many of which have been altered and extended. Being this is an existing residential area the principle of an extension may be acceptable subject to consideration of the details of the proposal. The position of the proposed extension at the property and the position of windows and doors on the proposed extension are not considered to adversely affect the privacy of neighbouring properties. Being located at the rear and at the north side of the house the proposed extension is not considered to result in significant additional overshadowing of

neighbouring properties. The proposed extension is not considered to have significant implications for Policy D2 of LDP2 in terms of its general impact on the surrounding area.

It should be noted the conservatory approved as part of the previous planning permission 2022/0559/TP was to extend out from the rear elevation of the house by 3.5m and be 7m wide. The conservatory applied for under 2022/0559/TP was acknowledged as further increasing the footprint of the property however was considered acceptable in order for planning permission to be granted.

Although the appearance of the proposed extension may be generally in character with the appearance of the house the extension now proposed is larger than the footprint of the conservatory approved under 2022/0559/TP by 16.54sqm resulting in further increasing the footprint of the already extended house. In light of the previous extensions constructed at the property it is considered the size of the conservatory approved under 2022/0559/TP is at the limits of acceptability. The extension now proposed in its own right is considered to be overdevelopment of the already extended house and is considered contrary to Policies 14 and 16 of NPF4 as well as Policies D1 and D1.1 of LDP2.

It should also be noted the upper floor extension on the north-east facing elevation of the house approved under 2022/0559/TP could still be constructed as that planning permission lapses on 23rd March 2026. If the approved upper floor extension is constructed the size of the house would be extended further. The upper floor extension approved under 2022/0559/TP is again considered to be at the limits of acceptability in terms of the increase in the size of the house.

Representations

With regard to the objections that have been received and not already considered above the following comments are made.

The proposed extension does not increase the number of bedrooms at the property and therefore does not require increased off-street parking.

The quality of workmanship on the extensions already completed is not a material consideration in determining this application.

Construction work had been started at the rear of the house without planning permission being applied for. As the property has already been extended any further extensions require planning permission based on the planning legislation in effect at this time. The owner of the property was contacted about this and agreed to remove parts of the constructed structure. The submitted planning application is what is required to be assessed against the relevant policies of the Development Plan and any material planning considerations which has been done above.

Structural matters are considered in a separate application for a Building Warrant.

Conclusion

Taking into account all of the above factors it is considered that the proposed extension is overdevelopment of the already extended house meaning that it is contrary to Policies 14 and 16 of NPF4 as well as Policies D1 and D1.1 of LDP2. The proposal also does not accord with the Householder Design Guide in terms of being larger than the original house. There are no material considerations applicable in order to approve this extension.

PLANNING OBLIGATIONS: None.

RECOMMENDATION: Refuse.

REASONS FOR REFUSAL:

1. The proposal is contrary to Policies 14 and 16 of National Planning Framework 4 as the proposed extension in combination with the existing extensions exceed the footprint of the original house resulting in overdevelopment of the house. There are no material considerations that allow approval of this development.
2. The proposal is contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2 as the proposed extension in combination with the existing extensions exceed the footprint of the original house resulting in overdevelopment of the house. There are no material considerations that allow approval of this development.
3. The proposal is contrary to the terms of the non-statutory Planning Guidance: Householder Design Guide as the proposed extension in combination with the existing extensions exceeds the footprint of the original house resulting in overdevelopment of the house.

ADDITIONAL NOTES:

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Mining Remediation Authority on 0345 762 6846 or if a hazard is encountered on site call the emergency line 0800 288 4242.

Further information is also available on the Mining Remediation Authority website at: <https://www.gov.uk/government/organisations/mining-remediation-authority>

ADDED VALUE: None.

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Sean McDaid on 0141 577 3001.

Ref. No.: 2025/0166/TP
(SEMC)

DATE: 7th May 2025

DIRECTOR OF ENVIRONMENT

Reference: 2025/0166/TP - Appendix 1

DEVELOPMENT PLAN:

Adopted East Renfrewshire Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful

place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density and layout that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character and setting, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
12. Unless justified, there will be a general presumption against landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
13. Backland development should be avoided;
14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for

- anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1

Extensions and Alterations to Existing Buildings for Residential Purposes

Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

National Planning Framework 4

Policy 14

Design, quality and place

- a) Development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale.
- b) Development proposals will be supported where they are consistent with the six qualities of successful places:
 - Healthy: Supporting the prioritisation of women's safety and improving physical and mental health.
 - Pleasant: Supporting attractive natural and built spaces.
 - Connected: Supporting well connected networks that make moving around easy and reduce car dependency
 - Distinctive: Supporting attention to detail of local architectural styles and natural landscapes to be interpreted, literally or creatively, into designs to reinforce identity.
 - Sustainable: Supporting the efficient use of resources that will allow people to live, play, work and stay in their area, ensuring climate resilience, and integrating nature positive, biodiversity solutions.
 - Adaptable: Supporting commitment to investing in the long-term value of buildings, streets and spaces by allowing for flexibility so that they can be changed quickly to accommodate different uses as well as maintained over time.

Further details on delivering the six qualities of successful places are set out in Annex D.

- c) Development proposals that are poorly designed, detrimental to the amenity of the surrounding area or inconsistent with the six qualities of successful places, will not be supported.

Policy 16

Quality homes

- a) Development proposals for new homes on land allocated for housing in LDPs will be supported.
- b) Development proposals that include 50 or more homes, and smaller developments if required by local policy or guidance, should be accompanied by a Statement of Community Benefit. The statement will explain the contribution of the proposed development to:
 - i. meeting local housing requirements, including affordable homes;
 - ii. providing or enhancing local infrastructure, facilities and services; and
 - iii. improving the residential amenity of the surrounding area.
- c) Development proposals for new homes that improve affordability and choice by being adaptable to changing and diverse needs, and which address identified gaps in provision, will be supported. This could include:
 - i. self-provided homes;
 - ii. accessible, adaptable and wheelchair accessible homes;
 - iii. build to rent;
 - iv. affordable homes;
 - v. a range of size of homes such as those for larger families;
 - vi. homes for older people, including supported accommodation, care homes

- and sheltered housing;
 - vii. homes for people undertaking further and higher education; and
 - viii. homes for other specialist groups such as service personnel.
- d) Development proposals for public or private, permanent or temporary, Gypsy/Travellers sites and family yards and Travelling Showpeople yards, including on land not specifically allocated for this use in the LDP, should be supported where a need is identified and the proposal is otherwise consistent with the plan spatial strategy and other relevant policies, including human rights and equality.
- e) Development proposals for new homes will be supported where they make provision for affordable homes to meet an identified need. Proposals for market homes will only be supported where the contribution to the provision of affordable homes on a site will be at least 25% of the total number of homes, unless the LDP sets out locations or circumstances where:
- i. a higher contribution is justified by evidence of need, or
 - ii. a lower contribution is justified, for example, by evidence of impact on viability, where proposals are small in scale, or to incentivise particular types of homes that are needed to diversify the supply, such as self-build or wheelchair accessible homes. The contribution is to be provided in accordance with local policy or guidance.
- f) Development proposals for new homes on land not allocated for housing in the LDP will only be supported in limited circumstances where:
- i. the proposal is supported by an agreed timescale for build-out; and
 - ii. the proposal is otherwise consistent with the plan spatial strategy and other relevant policies including local living and 20 minute neighbourhoods;
 - iii. and either:
 - delivery of sites is happening earlier than identified in the deliverable housing land pipeline. This will be determined by reference to two consecutive years of the Housing Land Audit evidencing substantial delivery earlier than pipeline timescales and that general trend being sustained; or
 - the proposal is consistent with policy on rural homes; or
 - the proposal is for smaller scale opportunities within an existing settlement boundary; or
 - the proposal is for the delivery of less than 50 affordable homes as part of a local authority supported affordable housing plan.
- g) Householder development proposals will be supported where they:
- i. do not have a detrimental impact on the character or environmental quality of the home and the surrounding area in terms of size, design and materials; and
 - ii. do not have a detrimental effect on the neighbouring properties in terms of physical impact, overshadowing or overlooking.
- h) Householder development proposals that provide adaptations in response to risks from a changing climate, or relating to people with health conditions that lead to particular accommodation needs will be supported.

Finalised 7th May 2025 MS(C)

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DECISION NOTICE

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSIONRef. No. **2025/0166/TP****Applicant:**

Mrs A Asif
14 Wigton Avenue
Newton Mearns
Glasgow
Scotland
G77 6JG

Agent:

Stephen McQuiston
44 Lainshaw Avenue
Kilmarnock
Scotland
KA1 4RZ

With reference to your application which was registered on 28th March 2025 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of single storey rear extension**at: 14 Wigton Avenue, Newton Mearns, East Renfrewshire, G77 6JG**

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policies 14 and 16 of National Planning Framework 4 as the proposed extension in combination with the existing extensions exceed the footprint of the original house resulting in overdevelopment of the house. There are no material considerations that allow approval of this development.
2. The proposal is contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2 as the proposed extension in combination with the existing extensions exceed the footprint of the original house resulting in overdevelopment of the house. There are no material considerations that allow approval of this development.
3. The proposal is contrary to the terms of the non-statutory Planning Guidance: Householder Design Guide as the proposed extension in combination with the existing extensions exceeds the footprint of the original house resulting in overdevelopment of the house.

Dated 7th May 2025



Head of Place
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	1		
Block Plan Proposed	2		
Proposed floor plans	3		
Elevations Proposed	4		
Elevations Proposed	5		
Elevations Proposed	6		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3001
Email planning@eastrenfrewshire.gov.uk**

NOTICE OF REVIEW

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100718310-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="Chris Doak Architect"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="Christopher"/>	Building Name:	<input type="text"/>
Last Name: *	<input type="text" value="Doak"/>	Building Number:	<input type="text" value="5"/>
Telephone Number: *	<input type="text" value="0141 248 4263"/>	Address 1 (Street): *	<input type="text" value="Shaftesbury Street"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text" value="Anderston"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
		Postcode: *	<input type="text" value="G3 8UN"/>
Email Address: *	<input type="text" value="doak.architect@yahoo.co.uk"/>		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Other"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text" value="Mr and Mrs"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="blank"/>	Building Number:	<input type="text" value="14"/>
Last Name: *	<input type="text" value="Asif"/>	Address 1 (Street): *	<input type="text" value="Wigton Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="0141 639 8327"/>	Town/City: *	<input type="text" value="Newton Mearns"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G77 6JG"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="doak.architect@yahoo.co.uk"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="14 WIGTON AVENUE"/>
Address 2:	<input type="text" value="NEWTON MEARNNS"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G77 6JG"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="656971"/>	Easting	<input type="text" value="253265"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of Single Storey Rear Extension (2025/0166/TP)

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Statement is submitted as a separate document in the Supporting Documents section.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Statement of reasons for appealing against Refusal of Planning Permission.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2025/0166/TP

What date was the application submitted to the planning authority? *

28/03/2025

What date was the decision issued by the planning authority? *

07/05/2025

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Christopher Doak

Declaration Date: 02/07/2025

Payment Details

Online payment: ZZ0100003984

Payment date: 02/07/2025 09:56:00

Created: 02/07/2025 09:56

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STATEMENT TO ACCOMPANY THE APPEAL AGAINST THE REFUSAL OF PLANNING PERMISSION : REAR EXTENSION AT 14 WIGTON AVENUE, NEWTON MEARNS

The Application for Planning Permission by Stephen McQuiston - on behalf of Mr and Mrs Asif - is for a single storey Rear Extension of 40.5 m², which to be used as a Sunlounge addition to the Kitchen and Dining Room at the back of the Applicants' home. The Extension is located in the same part of the Rear Garden where a Conservatory of 25.5 m² was Granted Planning Permission on 23 March 2023.

A Conservatory with a glazed roof is now considered to be impractical to the current needs of Mr and Mrs Asif and their family, and an Extension with a conventional tiled roof will allow the new accommodation to be comfortably used throughout the year.

Planning Permission for an Upper Floor Extension to the side of the house was Granted in both 2020 and 2023, but because of a change in family circumstances, these are now not going ahead.

The Proposed Rear Extension would be finished on the outside by render and concrete roof tiles to match the existing house.

The three Reasons for the Refusal of Planning Permission, are broadly the same - in that the floor area of the new Extension would seem to be an overdevelopment of the previously-extended house. As justification, two Policies and one non-statutory Planning Guidance are referred to :

1. Refusal as contrary to Policies 14 and 16 of the National Planning Framework 4.

Policy 14 states that a Proposal will be supported if it is "consistent with the six qualities of successful places". The six are titled as Healthy, Pleasant, Connected, Distinction, Sustainable, and Adaptable, and the Proposed Extension would seem to comply with the detailed qualities listed for all six.

Policy 16 seems to be a Policy more relevant to large, new housing developments, and only Policy 16 (g.1) would seem to have a bearing on a small Rear Extension to an existing house. 16 (g.1) states that a development proposal will be supported where it "does not have a detrimental impact on the character or environmental quality of the home and surrounding area in terms of size, design, and materials". Policy 16 (g.11) confirms it will be supported if it " does not have a detrimental effect on the neighbouring properties in terms of physical impact, overshadowing, or overlooking". The Report of Handling for the Application confirms that the Extension would not affect the neighbouring properties in any way, nor impact on the character or environmental quality of the home, and the surrounding area. 14 Wigton Avenue is located on a large, irregular-shaped plot, in a locality where many of Mr and Mrs Asif's neighbours have been allowed to extend their homes in a seeming contradiction to the reasons given for the Refusal of theirs.

2. The Proposal is contrary to Policies D1 and D1.1 of the adapted East Renfrewshire Local Development Plan 2 "as the proposed extension in combination with the existing extensions exceed the footprint of the original house, resulting in over-development of the house". However, consulting Policy D1, it would seem that the Proposed Extension meets all twenty listed Conditions - and which are mostly only relevant to new residential developments. Policy D1.1 states that Proposals will be assessed against six criteria, and the Proposed Extension does comply with all six. Indeed, Criteria no.6 states that "no more than 50 % of the rear garden should be occupied the by the redevelopment". The area of the rear garden at 14 Wigton Avenue is 157 m², and the area of the Proposed Extension is 40.5 m² - and therefore covering only approx. 26 % of the rear garden.

3. "The Proposal is contrary to the terms of the non-statutory Planning Guidance Householder Design Guide, as the Proposed Extension, in combination with the existing extensions, exceeds the footprint of the original house - resulting in overdevelopment of the house". However, when the Document is consulted, it only states in Section 3. Design Guidance : General Principles, that "extensions should be in proportion to the original house, and should not GENERALLY exceed 100 % of the footprint of the original house". With reference to any Dictionary, the definition of the word GENERALLY is given as "in most respects", "usually", "by and large", "as a rule" etc, so this Principle does not have a strict black and white ruling - but gives allowance for relaxations or exceptions.

Thank you for your consideration of my Clients' Appeal for Refusal of Planning Permission, and I trust that our Statement allows you to reconsider the Decision, and Grant Planning Permission for the Extension to Mr and Mrs Asif's home.

CHRIS DOAK ARCHITECT

1 JULY 2025

14 Wigton Avenue, Newton Mearns

Conditions

1. The development hereby approved must be begun not later than the expiration of 3 years beginning with the date on which the permission is granted or, as the case may be, deemed to be granted.

Reason: To comply with Section 58(1) of The Town and Country Planning (Scotland) Act 1997, as amended.

2. Development shall not commence until samples of materials to be used on all external surfaces of the extension have been submitted to and approved in writing by the Planning Authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

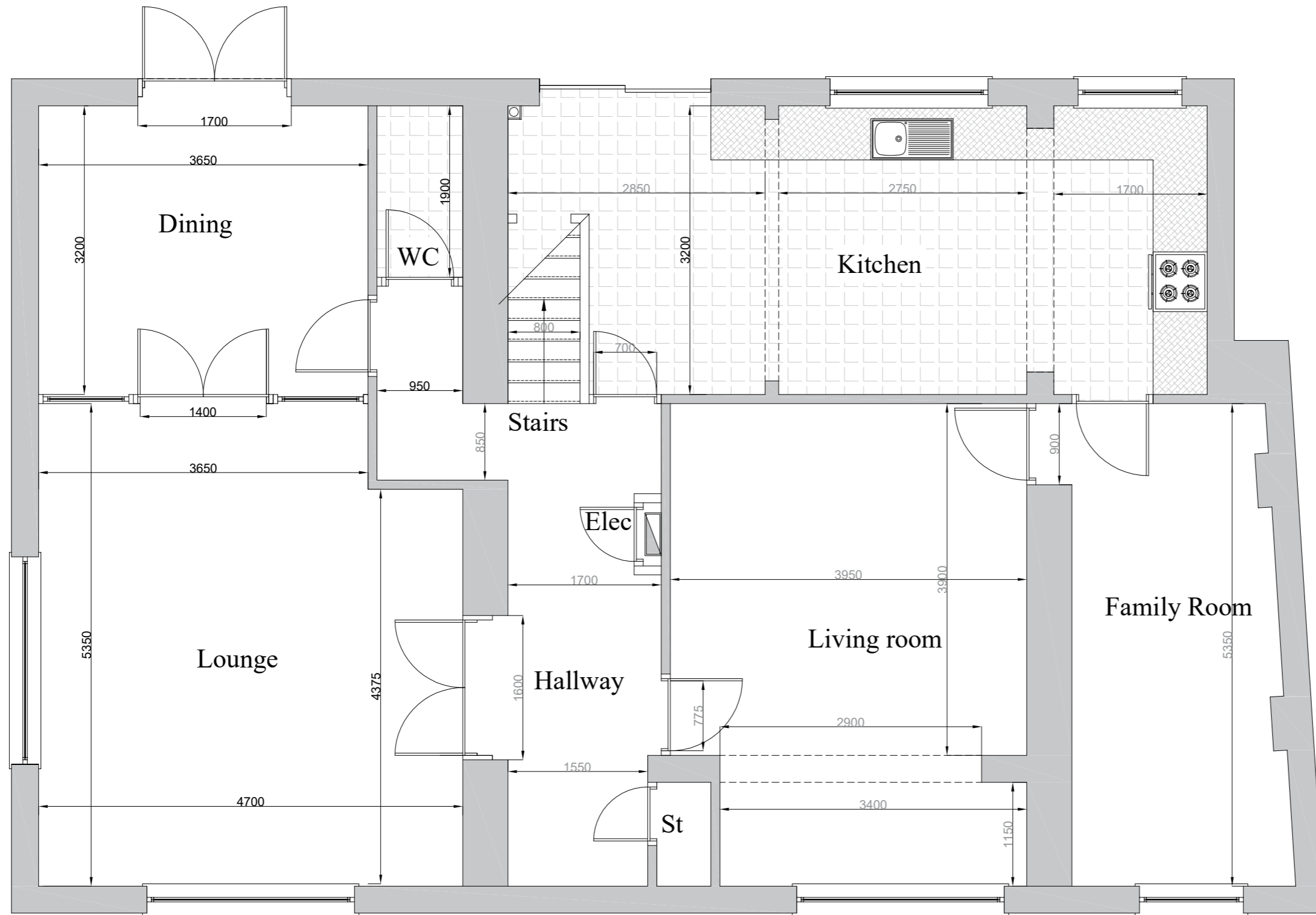
PLANS/DRAWINGS

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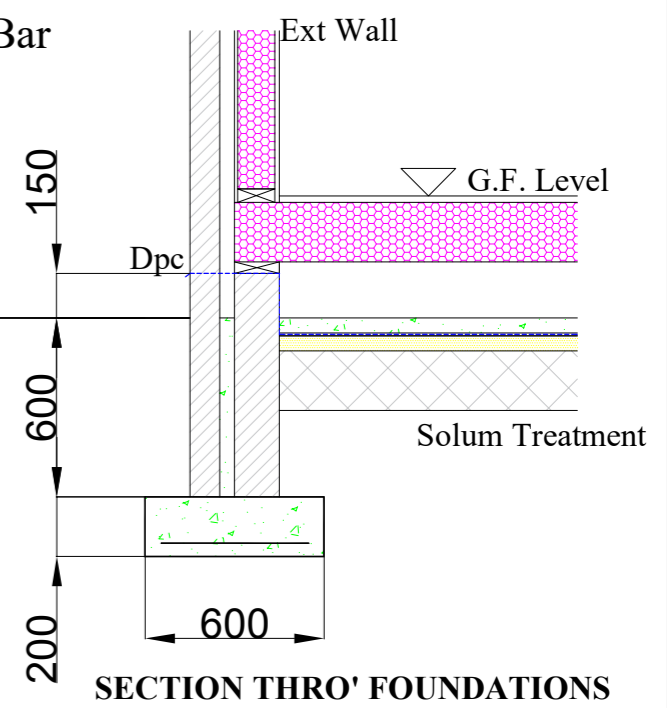
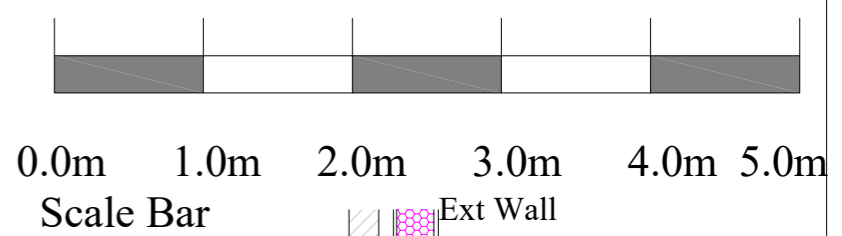
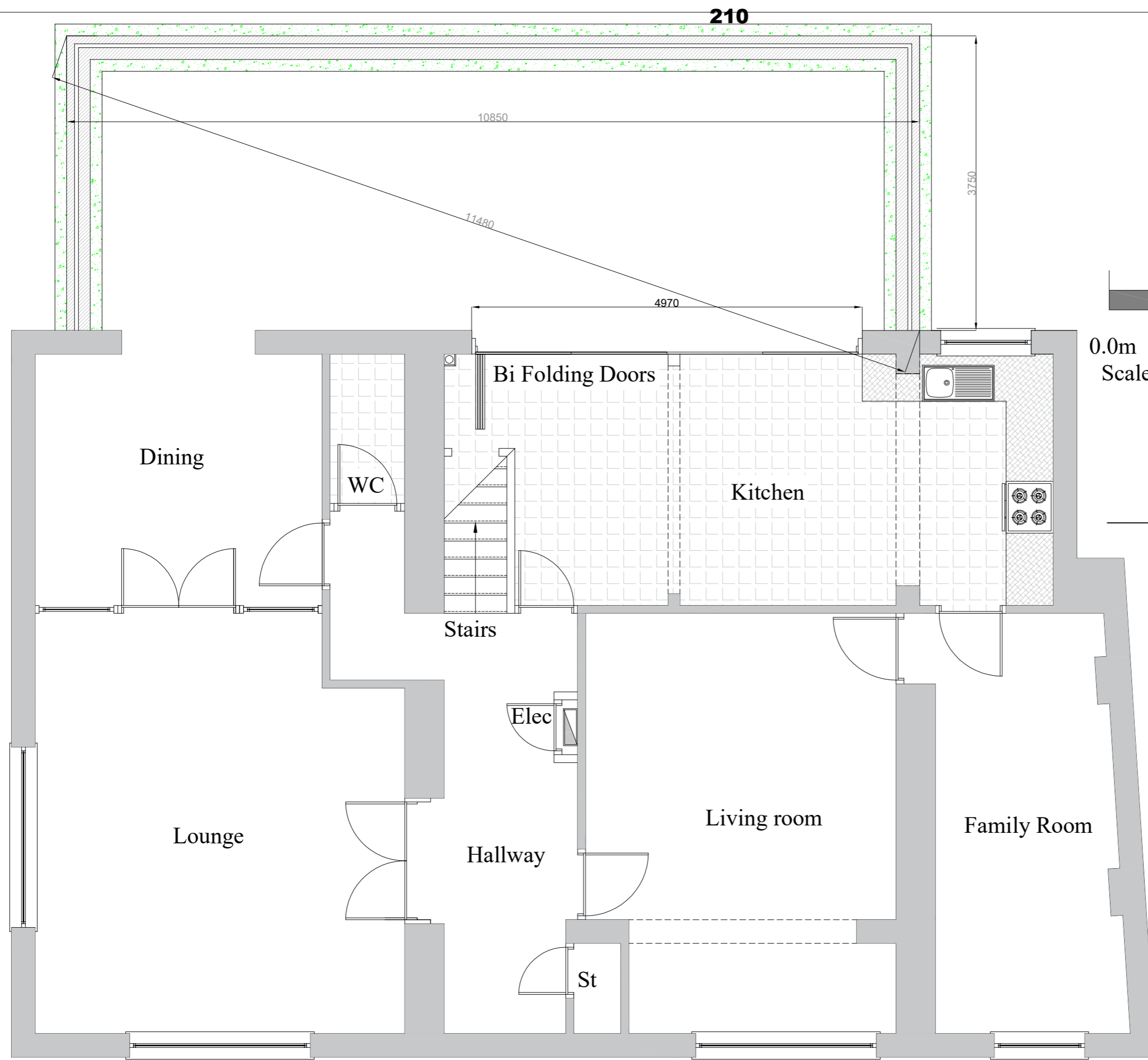
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Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : - Existing Ground Floor Layout	
Drg No:- WANMG101	Scale: - 1 : 50



EXISTING GROUND FLOOR LAYOUT

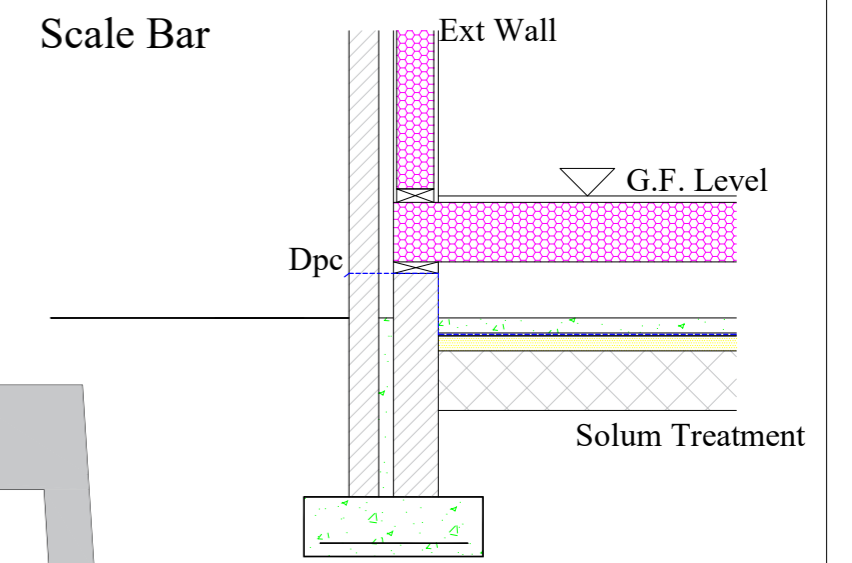
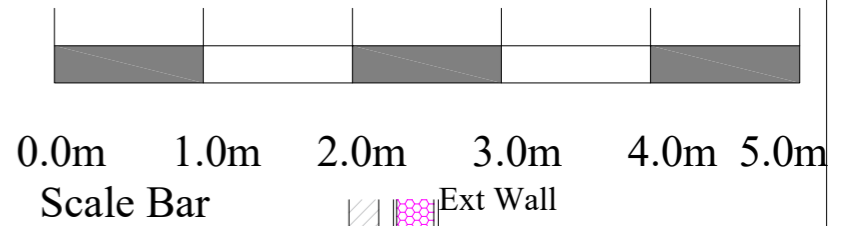
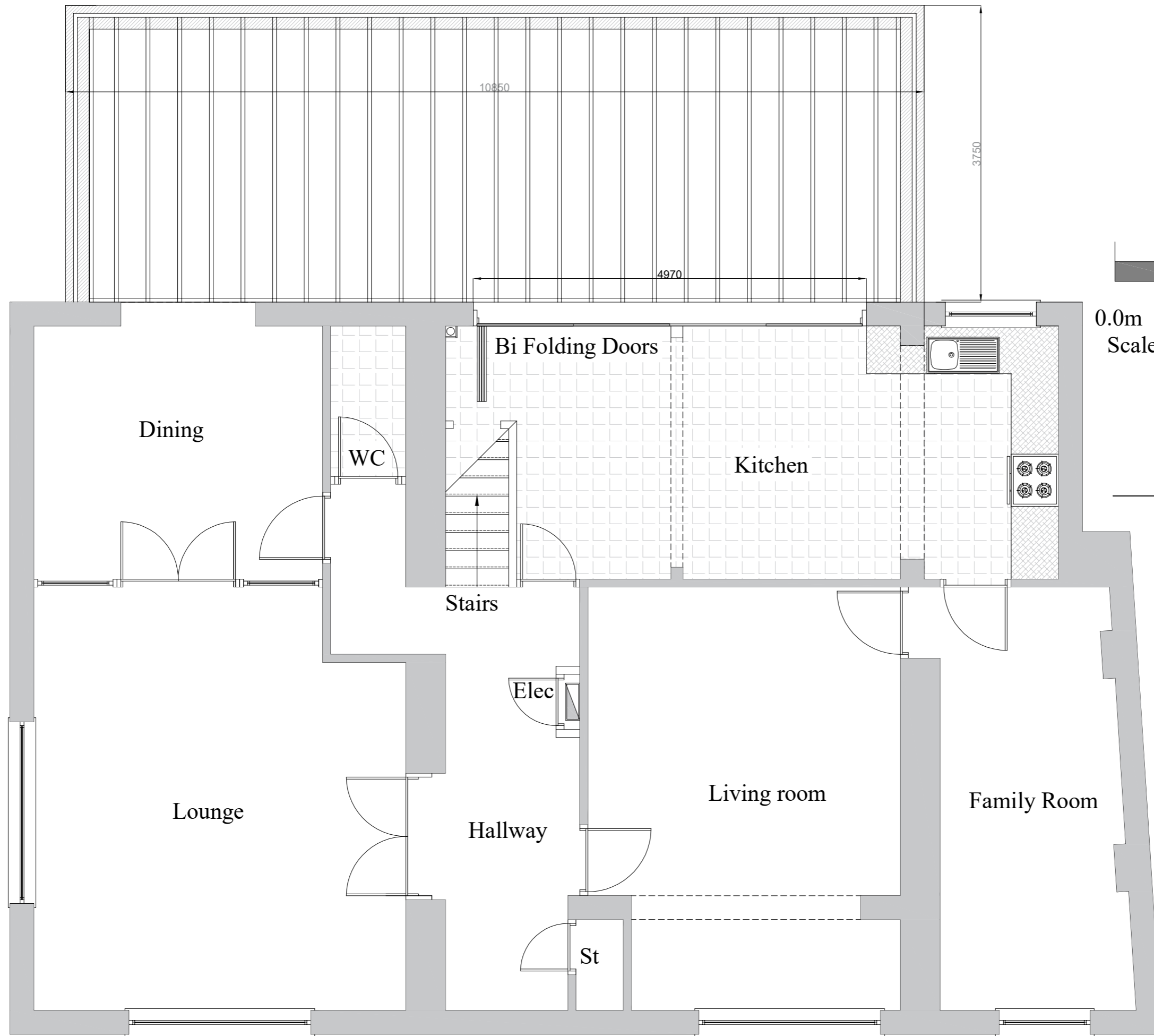
Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : - Proposed Foundation Layout	
Drg No:- WANMG103	Scale: - 1 : 50



PROPOSED FOUNDATION LAYOUT

The foundations are to be 600mm wide by 200mm deep Grade C35 concrete where the top of the foundation is a minimum of 600mm below the adjacent ground level. There will be A393 mesh reinforcement placed at 50mm from the base of the pour with an all round cover of 50mm. The solum treatment will be 50mm site concrete on a 1200g visqueen dpm on 50mm sand blinding which is placed on 200mm of suitable backfill material that has been well consolidated. The dpm will over lap the dpc in the external wall construction. The dpc will be a minimum of 150mm above the adjacent ground level and be placed under a treated wallplate that is below the joist ends of the extension floor.

Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : -Proposed Ground Floor Construction	
Drg No:- WANMG104	Scale: - 1 : 50

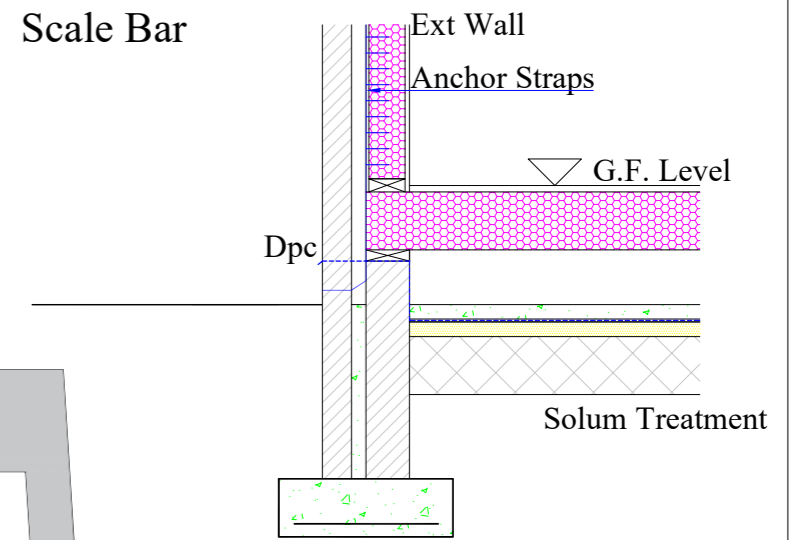
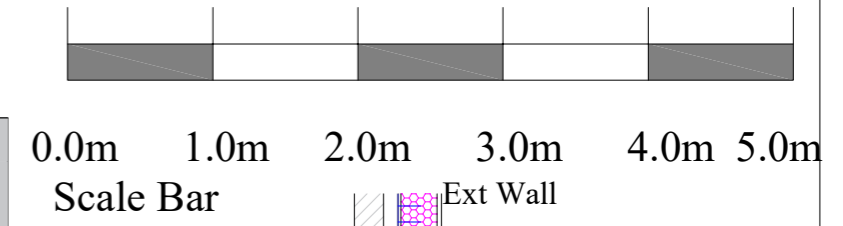
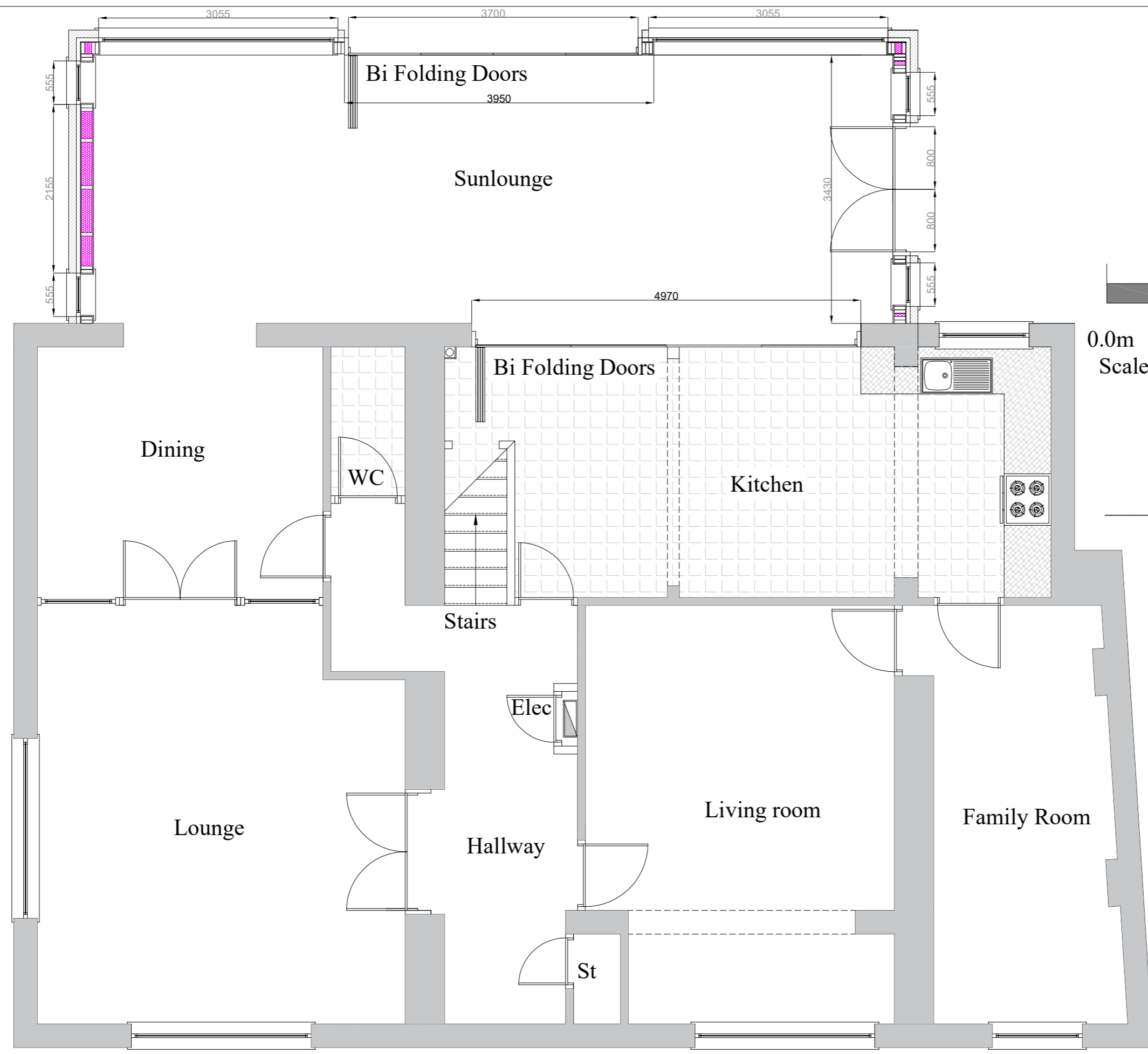


SECTION THRO' GROUND FLOOR

The ground floor construction will be 22mm T & G Flooring secured to the top of the 200 x 50mm Grade C16 timbers placed at 400mm centres. The joists will be supported off a treated wall plate 145 x 39mm that will be placed on top of a 500g dpc that will be on top of a dwarf wall. The joists will be supported off a 200 x 50mm treated timber bearer that will be secured to the rear wall of the house using 12mm diameter rawl bolts at 400mm centres in the middle of the joist spacing. The bearer will be wrapped in a dpc. There will be 150mm of Kingspan placed in between the joists being supported at the bottom by a timber dwang. The minimum space between the bottom of the insulation and the solum treatment will be 150mm.

PROPOSED GROUND FLOOR CONSTRUCTION

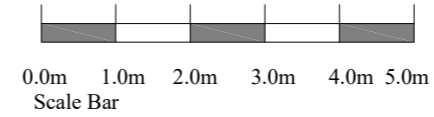
Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : - Proposed External Wall Const	
Drg No:- WANMG105	Scale: - 1 : 50



SECTION THRO' EXTERNAL WALL

The external wall construction from inside to out will be 15mm plasterboard on a vapour barrier onto the inner face of 145 x 45mm timber studs at 600mm centres. The outer face of the studs will have 9mm OSB secured to it with a breathable building paper secured to this. There will be a 50mm ventilated cavity with an outer leaf of 100mm dense concrete block with a 15mm smooth white render applied to the outer face. The outer leaf will be tied to the inner leaf using proprietary metal wall ties at 600mm centres horizontally to coincide with the stud positions and at 375mm centres vertically. The cavity will be ventilated using perp end vents at 900mm centres at high and low level. The inner timber frame will be anchored to the outer leaf using metal anchor straps at 1200mm centres. The bottom of the strap will be built into the outer leaf 2 course below the dpc level. The dpc will be 150mm min above the adjacent ground level.

PROPOSED EXTERNAL WALL CONSTRUCTION



Client : - Mrs Asif

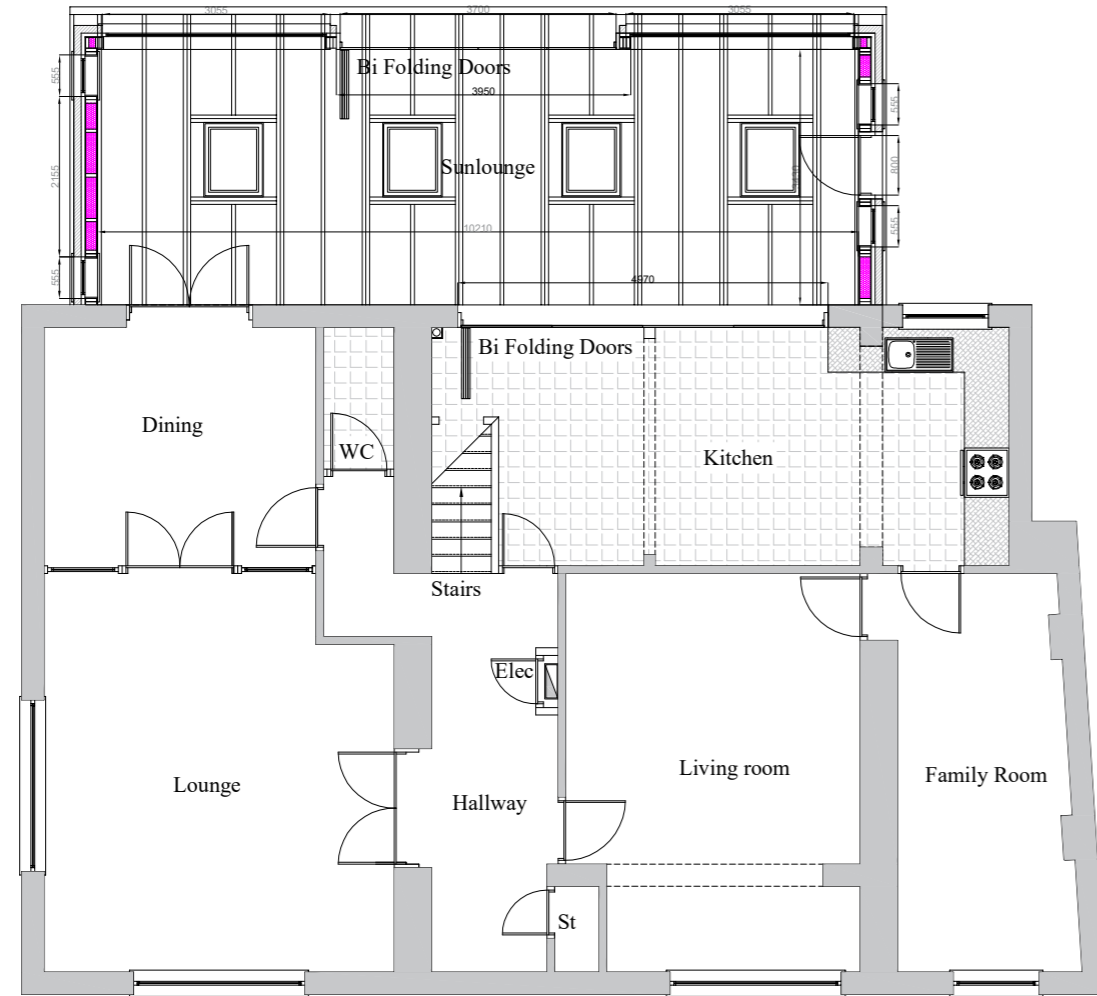
Address : - No14 Wigton Avenue, Newton Mearns

Project : - Proposed Rear Sunlounge

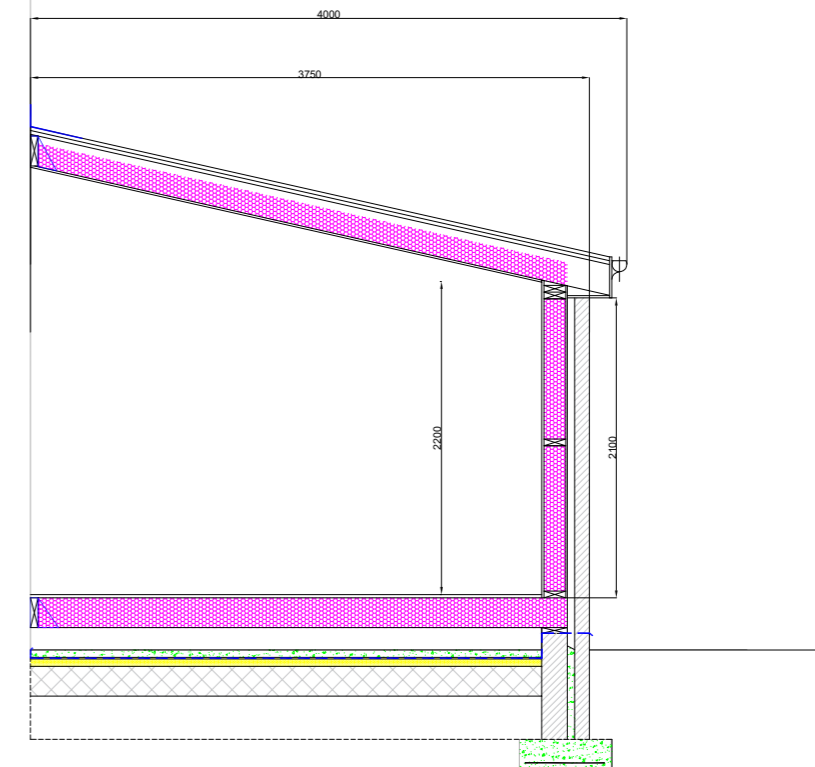
Drg Title : - Proposed Roof Rafter Layout

Drg No:- WANMG106

Scale: - 1 : 100

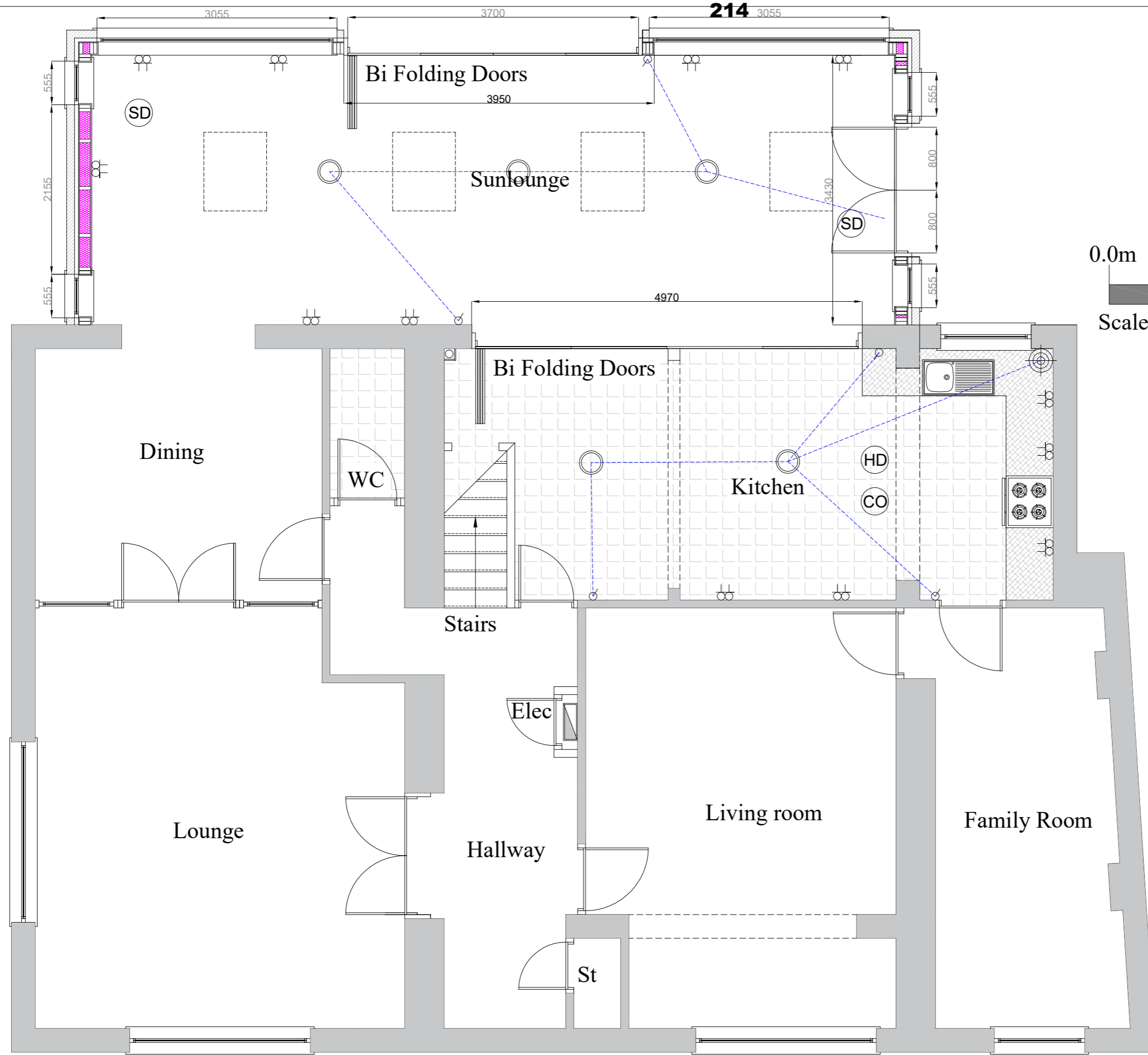


PROPOSED ROOF RAFTER LAYOUT

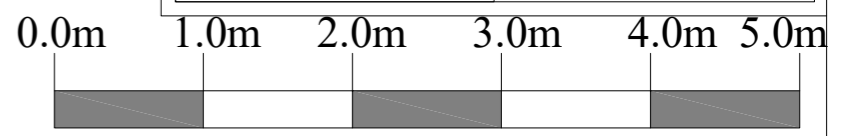


SECTION THROUGH SUNLOUNGE

The roof construction to the sunlounge will be a concrete interlocking roof tile (Marley Mendip) on treated tile battens 38 x 25mm on treated felt battens 38 x 19mm on one layer of roofing felt on 18mm plywood on 200 x 50mm Grade C16 timber rafters at 400mm centres. The underside of the rafters is finished off with 15mm plasterboard on a vapour barrier. There will be 150mm of Kingspan insulation placed between the rafters ensuring that there is a 50mm air gap between the top of the insulation and the underside of the plywood. The top of the roof rafters will be supported on a 200 x 50mm treated timber batten that is rawl bolted to the external wall of the house using 12mm diameter rawl bolts at 400mm centres. There will be metal joist hangers secured to the timber bearer at 400mm centres to coincide with the position of the roof rafters. The bottom of the roof rafters will be supported off the inner timber wall of the external wall or where there is an opening they will be supported off the designed beam. The rafters will be secured to the outer support using truss clips every rafter and anchored to the inner wall using anchor straps every third rafter. The roof void will be ventilated using a 25mm continuous strip vent at soffit level and at high level the void will be ventilated using a 5mm continuous vent or approved equal. The velux roof lights will be inserted as shown on the plane where one rafter has to be cut and 2No 200 x 50mm bridles are inserted at the base of the velux and at the top of the velux. The full rafters either side of the velux position will be doubled up. The cut rafter is supported off the double bridles using metal joist hangers and the double bridles will be supported off the doubled up rafters again using metal joist hangers. There will be a 5lb lead flashing detail where the roof meets the rear wall of the house. This will have a 150mm upstand and be dressed down over the sunlounge roof by 300mm. The top of the lead flashing will be wraggled into the rear wall of the house and mastic sealed the full length.



Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : - Proposed Electrical Layout	
Drg No:- WANMG107	Scale: - 1 : 50



Scale Bar

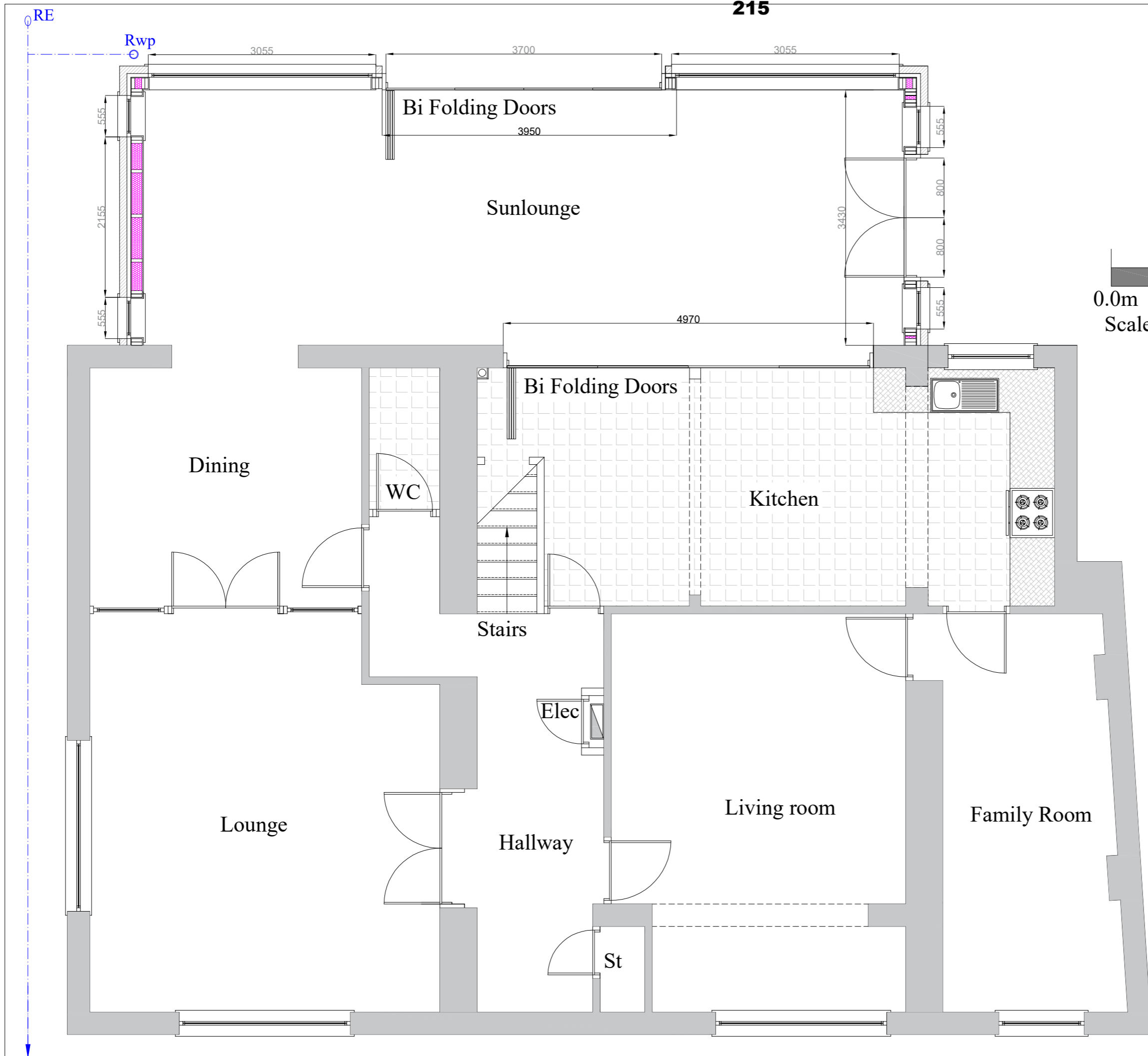
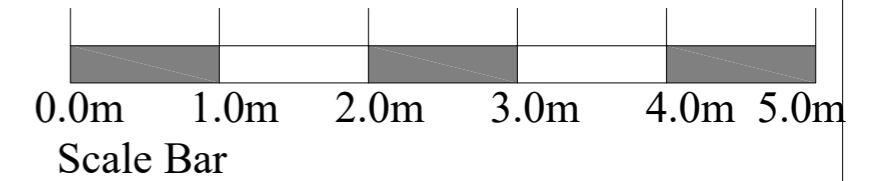
ELECTRICAL LEGEND :-

- Light switch..... ♂
- Light pendant..... ○
- 13 Amp D/Socket Outlet..... ♂
- Mechanical Extract Fan..... ⊕
- Smoke Detector..... SD
- Heat Detector..... HD
- Carbon Monoxide Detector..... CO

The new electrical installation will be carried out by a fully qualified electrician that is a member of SELECT or NICEI or an equally approved body. The installation will be carried out to the full compliance with BS7671 and the up to date version of the IEE Regulations and to the full satisfaction of the local building control department. On completion of the installation the electrician will supply an Electrical Compliance certificate that will be handed into the Building Control when applying for the completion certificate. The Kitchen will be ventilated using a mechanical extract fan having an extract rate of 60l/s taken to terminate at a grill on the external surface of the house. All switches will be 1100mm above FFL and 400mm out from corners and all sockets will be 400mm above FFL and 400mm out from corners. All new detection system will be interlinked with the existing system be within a protected circuit be hard wired to the mains and have a battery back up.

PROPOSED GROUND FLOOR LAYOUT

Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : - Proposed Drainage Layout	
Drg No:- WANMG108	Scale: - 1 : 50



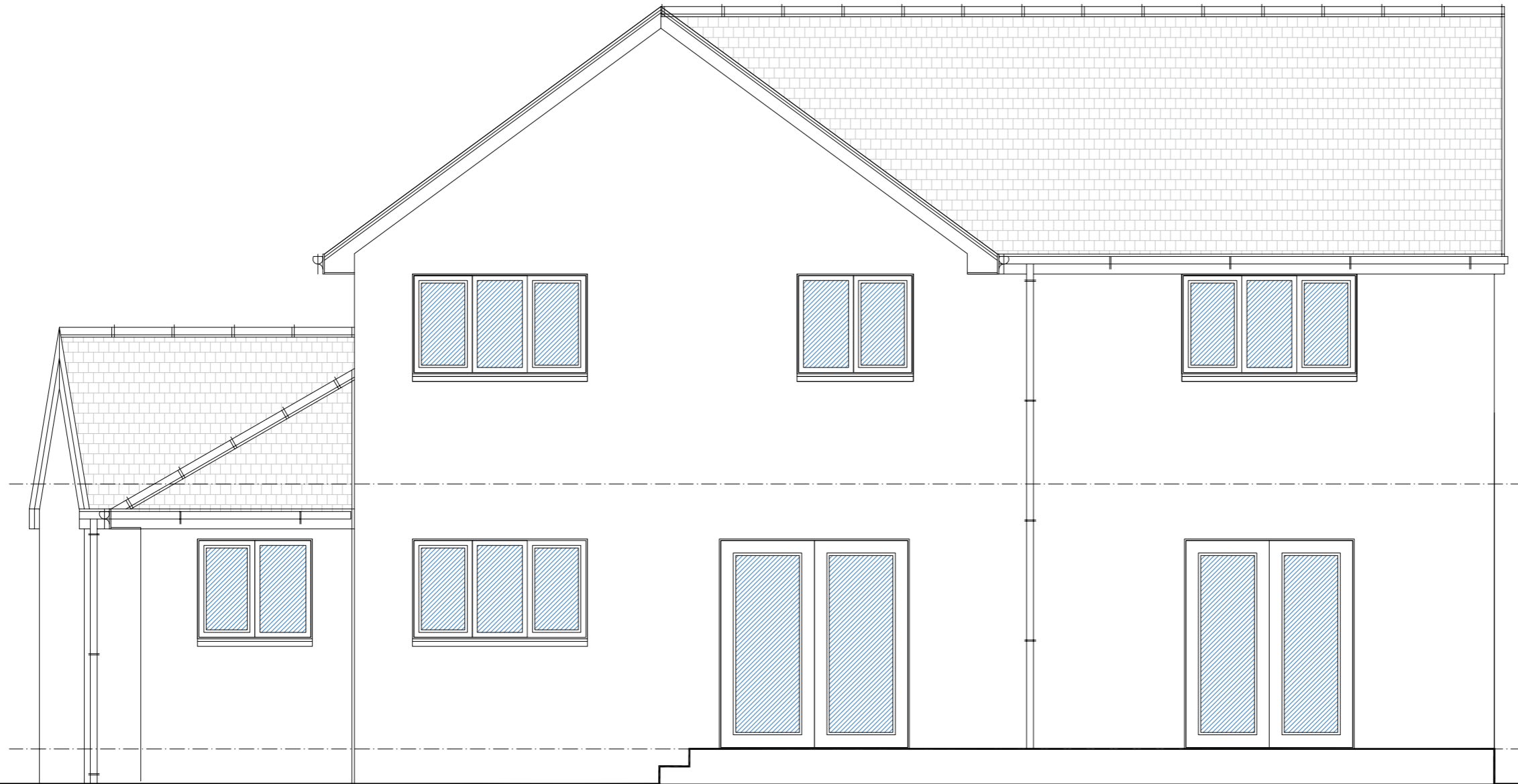
The new drainage system for the Sunlounge will be as follows - The surface water will be collected from the roof using a normal profile upvc gutter (White) and direct this towards a 68mm diameter upvc down pipe (White). The surface water will then be transferred into and under ground upvc pipe that will be a 100mm diameter upvc pipe, have a minimum ground cover of 600mm and be surrounded by a minimum of 150mm of pea gravel bedding material and be laid to a gradient of 1 in 40. This new drain will be taken to connect to the existing surface water drain at the side of the building. There will be a rodding eye at the head of the drain form maintenance purposes.

PROPOSED DRAINAGE LAYOUT



0.0m 1.0m 2.0m 3.0m 4.0m 5.0m
Scale Bar

Client : - Mrs Asif	
Address : -No14 Wigton Avenue,Newton Mearns	
Project : - Proposed Rear Sunlounge	
Drg Title : - Existing Rear Elevation	
Drg No:- WANMG109	Scale: - 1 : 50



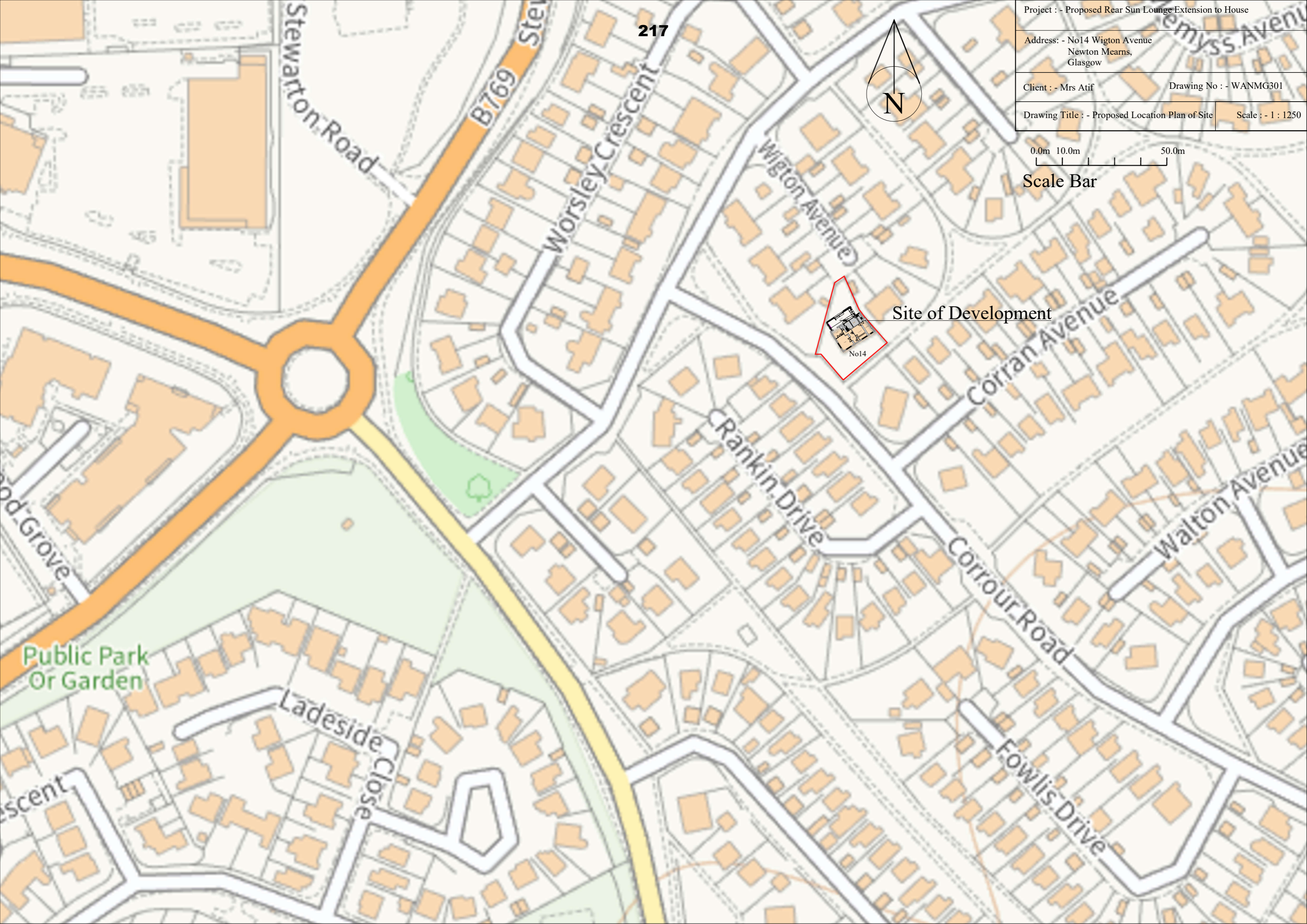
EXISTING REAR ELEVATION.

Project : - Proposed Rear Sun Lounge Extension to House
Address : - No14 Wigton Avenue
Newton Mearns,
Glasgow
Client : - Mrs Atif
Drawing No : - WANMG301
Drawing Title : - Proposed Location Plan of Site
Scale : - 1 : 1250



0.0m 10.0m 50.0m

Scale Bar



217

Site of Development

No14

Public Park
Or Garden

Ladeside
Close

escent

od Grove

Stewarton Road

B769 Ste

Worsley Crescent

Wigton Avenue

Rankin Drive

Corrou Road

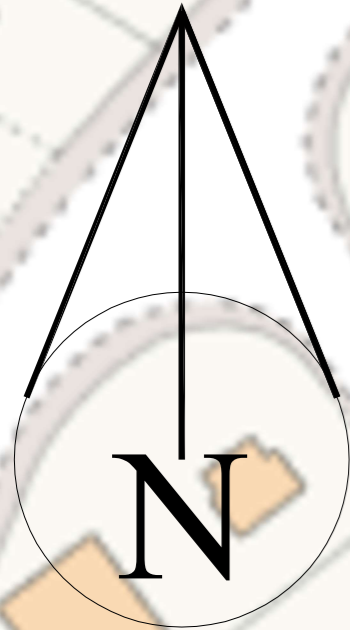
Fowlis Drive

Corran Avenue

Walton Avenue

Wemyss Avenue

Project : - Proposed Rear Sun Lounge Extension to House	
Address : - No14 Wigton Avenue Newton Mearns, Glasgow	
Client : - Mrs Atif	Drawing No : - WANMG302
Drawing Title : - Existing Block Plan of Site	Scale : - 1 : 500

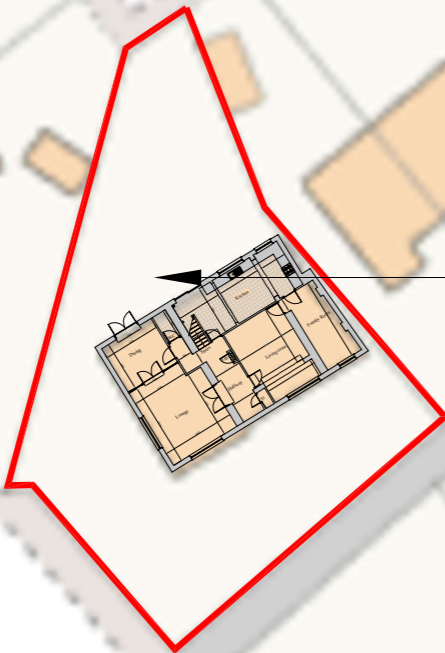


218

Wigton Avenue

Corran Avenue

Site of Development



0.0m 10.0m 50.0m

Scale Bar